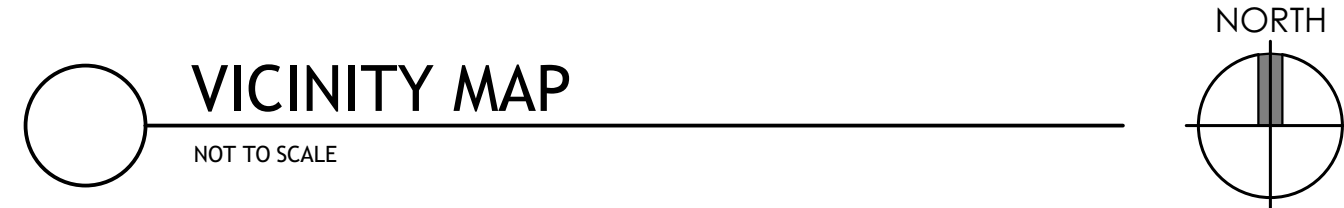


GENERAL NOTES

1. CODES
THIS PROJECT SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE TOWN OF BRECKENRIDGE. THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODE REQUIREMENTS.
2. EXISTING CONDITIONS
FIELD VERIFY ALL DIMENSIONS, UTILITY LOCATIONS AND EXISTING CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR PROCURING ANY MATERIALS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR DISCREPENCIES THAT ARISE.
3. DIMENSIONS
ALL PLAN DIMENSIONS SHOWN ARE TO FACE OF FRAMING OR FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. ALL SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, TOP OF WALL PLATE OR TOP OF BEAM UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.
4. CHANGES
ANY PROPOSED CHANGES TO THE PLANS SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING PRIOR TO COMMENCING WORK. UNAUTHORIZED CHANGES SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.
5. OMISSIONS OR DISCREPENCIES
ALTHOUGH PROVINO ARCHITECTURE, LLC AND ITS CONSULTANTS HAVE PERFORMED THEIR DUTIES WITH CARE AND DILIGENCE, DESIGN AND CONSTRUCTION ARE COMPLEX PROCESSES IN WHICH OMISSIONS OR DISCREPENCIES MAY OCCUR. NOTIFY THE ARCHITECT IMMEDIATELY TO RESOLVE ANY SUCH ISSUE PRIOR TO COMMENCING WORK.
6. INDUSTRY STANDARDS
THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL PROVIDE ALL MATERIALS, LABOR, SHIPPING, INSTALLATION, TOOLS AND EQUIPMENT TO PROVIDE A COMPLETE PROJECT MEETING THE RECOGNIZED INDUSTRY STANDARDS.
7. JOB SITE SAFETY
THESE DOCUMENTS DO NOT CONTAIN ALL OF THE REQUIRED COMPONENTS FOR PROPER JOB SITE SAFETY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO PERFORM ALL WORK IN COMPLIANCE WITH ALL REGULATORY AGENCY SAFETY REGULATIONS.
8. SOILS INVESTIGATION
IT IS RECOMMENDED THAT THE OWNER RETAIN THE SERVICES OF A SOILS ENGINEER TO VERIFY THE SOIL BEARING CAPACITY AND SUBSURFACE CONDITIONS PRIOR TO PLACING ANY CONCRETE FOUNDATIONS.
9. AREA CALCULATIONS
SQUARE FOOTAGE CALCULATIONS ARE FOR CODE PURPOSES ONLY AND SHOULD BE FIELD VERIFIED FOR ANY OTHER USE.
10. COPYRIGHT
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CONTACT INFORMATION

OWNER / BUILDER: MB DEVELOPMENT, LLC P.O. BOX 7 BRECKENRIDGE, CO 80424 970.485.0640	ARCHITECT: PROVINO ARCHITECTURE, LLC 217 S. RIDGE STREET #1 P.O. BOX 8662 BRECKENRIDGE, CO 80424 970.453.2520
STRUCTURAL ENGINEER: ENGINEERING DESIGN WORKS 1855 SKI TIME SQUARE, UNIT E2C P.O. BOX 775729 STEAMBOAT SPRINGS, CO 80477 970.846.4890	SURVEYOR: SCHWIDT LAND SURVEYING, INC. P.O. BOX 5761 FRISCO, CO 80443 970.409.9963
CIVIL ENGINEER: PERMONTES GROUP 105 SOUTH SUNSET STREET UNIT H LONGMONT, CO 80501 720.684.4981	

BUILDING AREA

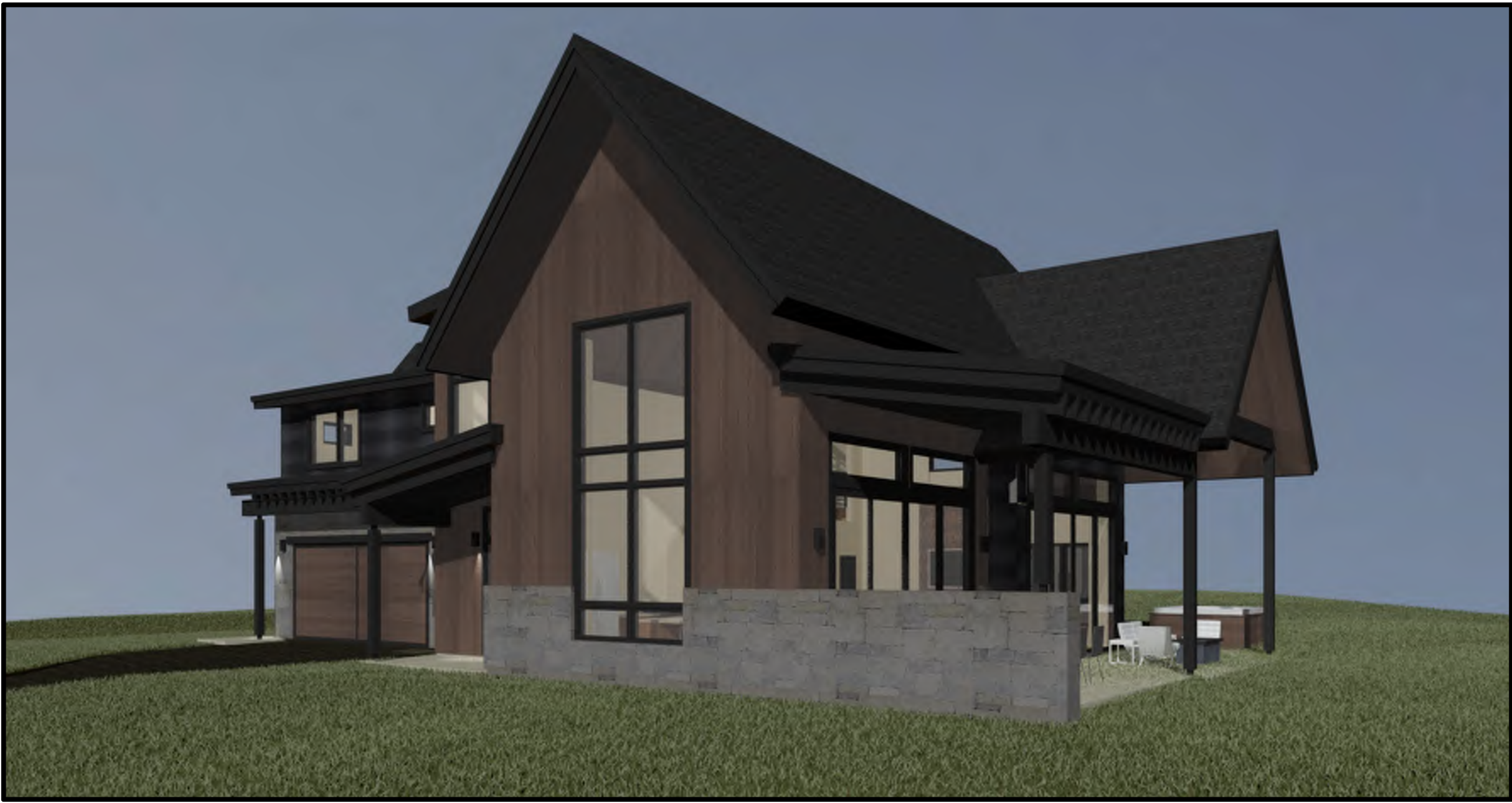
	GARAGE / MECHANICAL	FINISHED	TOTAL
AREAS:			
MAIN LEVEL	672 S.F.	2,413 S.F.	3,085 S.F.
UPPER LEVEL	0 S.F.	1,402 S.F.	1,402 S.F.
TOTAL:	672 S.F.	3,815 S.F.	4,487 S.F.

LEGAL DESCRIPTION

LOT 18 MILLER MASTER PLAN, LOCATED IN SECTION 18, TOWNSHIP 6 SOUTH, RANGE 77 WEST, 6TH P.M., TOWN OF BRECKENRIDGE, COUNTY OF SUMMIT, STATE OF COLORADO

SHEET INDEX	
ID	Name
A-100	COVER SHEET
A-101	GRADING & LANDSCAPE PLAN
A-200	MAIN FLOOR PLAN
A-201	UPPER FLOOR PLAN
A-202	ROOF PLAN
A-300	ELEVATIONS
A-301	ELEVATIONS
M/E-100	MAIN LEVEL M/E PLAN
M/E-200	UPPER LEVEL M/E PLAN

HIGHLANDS RIVERFRONT
LOT 18 SINGLE FAMILY HOME



NOTE

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HIGHLANDS RIVERFRONT
LOT 18 SFH
205 MONITOR DRIVE
BRECKENRIDGE, CO 80424

DATE	MARKETING	DESCRIPTION
NOV/5/24		

PROJECT NO: 2019-7
DRAWN BY: M.PROVINO
CHK'D BY: M.PROVINO

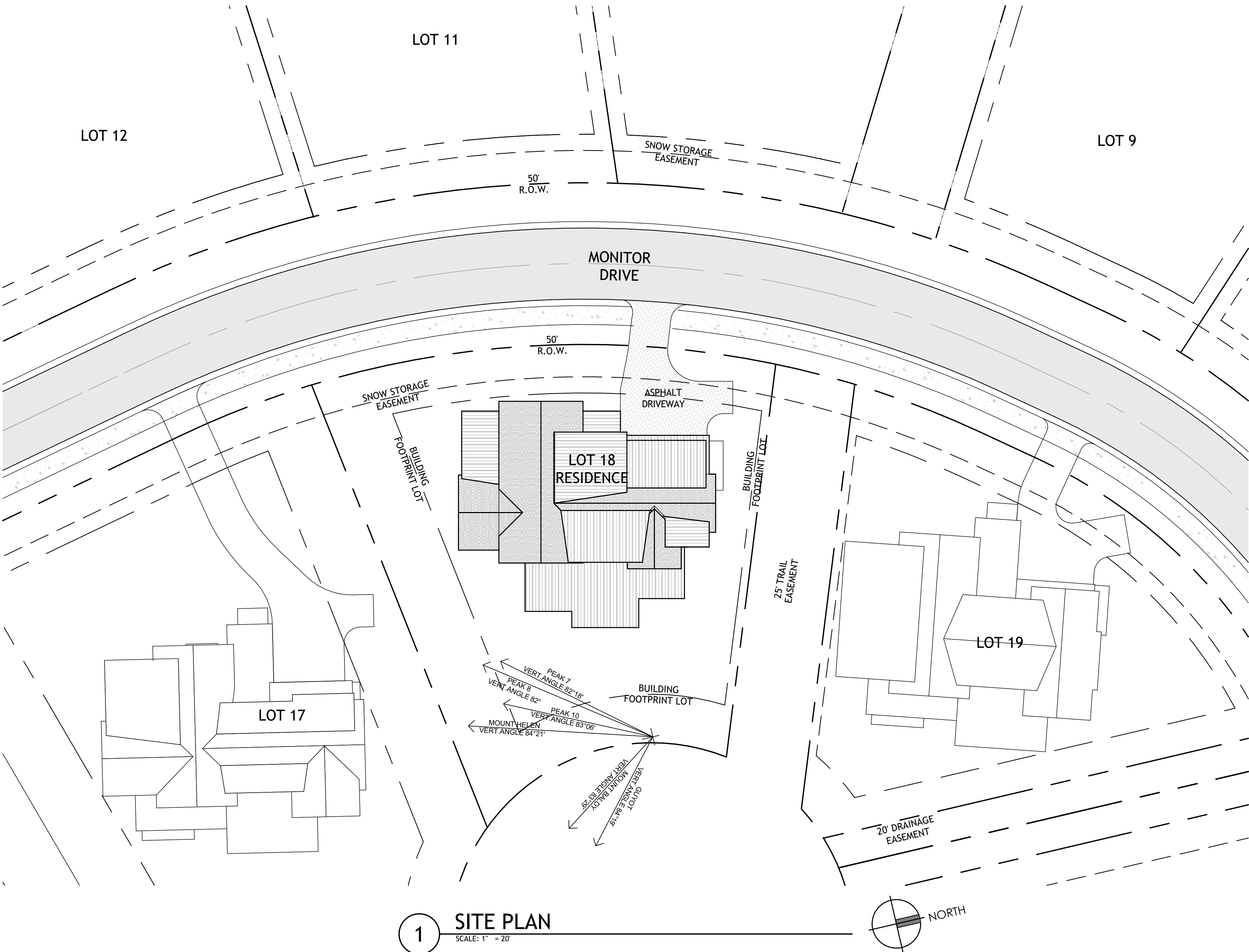
SHEET TITLE

COVER SHEET

A-100

SHEET 1

OF 9



LOT COVERAGE

	SQ. FEET	ACRES	%
LOT AREA	14,470.7 S.F.	0.33 AC	100 %
BUILDING COVERAGE	3,158 S.F.	0.07 AC	21.8 %
HARDSCAPE COVERAGE	1,825 S.F.	0.04 AC	12.6 %
OPEN SPACE	9,487.7 S.F.	0.22 AC	65.6 %

SNOWSTACK

DRIVEWAY & HARDSCAPE = 1,825 S.F.
SNOWSTACK REQ'D. (25%) = 457 S.F.
SNOWSTACK PROVIDED = 460 S.F.

SITE DATUM

9,246.5' USGS = 100'-0" ARCH'L.

HEIGHT CALCULATION

MARK	NAT. GRADE ELEVATION	FIN. GRADE ELEVATION	MEASURED FROM	RIDGE ELEVATION	CALCULATION	HEIGHT
A	9245.6	9246.4	FIN. GRADE	9276.2	9276.2-9245.5	30.7'
B	9246.1	-	FIN. GRADE	9276.2	9276.2-9246.0	30.2'
C	9245.9	-	NAT'L. GRADE	9275.7	9275.7-9245.8	29.9'
D	9246.2	-	NAT'L. GRADE	9275.7	9275.7-9246.1	29.6'
E	9245.4	9245.5	NAT'L. GRADE	9277.8	9277.8-9245.4	32.4'
F	9246.5	-	NAT'L. GRADE	9277.8	9277.8-9246.5	31.3'

LANDSCAPE NOTES

1. PROVIDE 3" MIN. CLAY-FREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMIT COUNTY SHORT GRASS SEED MIX. STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
2. PROTECT EXISTING TREES WHERE POSSIBLE, INCLUDING DRIP LINES AND ROOT STRUCTURE. PROVIDE TEMPORARY FENCING AROUND TREES TO REMAIN. LOCATE TEMPORARY FENCING OUTSIDE OF DRIP LINE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER CODE REQUIREMENTS.
4. REMOVE ALL CONSTRUCTION DEBRIS, STUMPS, SLASH, ETC. FROM LANDSCAPE AREAS PRIOR TO COMMENCING WORK.
5. LOCATE ALL PLANTING TO AVOID SNOW STACK ZONES AND AREAS PRONE TO SNOW SLIDE FROM ROOFS ABOVE.
6. FIELD LOCATE SHRUBS AS APPROVED BY THE ARCHITECT AND OWNER.
7. ALL NEW PLANTINGS SHALL BE HIGH ALTITUDE GROWN AND/OR COLLECTED.
8. PROVIDE TREE GROUPINGS OF VARYING HEIGHT AND LOCATION TO CREATE A NATURAL APPEARANCE.
9. PROVIDE LANDSCAPE MATERIALS TO SCREEN ALL UTILITY PEDESTALS, METERS, ETC.
10. PROVIDE 4" DIAMETER STONE RIP-RAP OVER LANDSCAPE FABRIC AT BUILDING DRIP LINES. UNDULATE EDGE OF RIP-RAP AND PROVIDE LANDSCAPE EDGING AT JUNCTURES WITH TOPSOIL OR OTHER GROUND COVER.
11. INSTALL AND BACKFILL PLANTINGS WITH ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
12. ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION WITH ORGANIC FERTILIZERS AS RECOMMENDED FOR TREE SPECIES.
13. PROVIDE 3" DEEP SHREDDED WOOD MULCH AT ALL SHRUB AND TREE WELLS.
14. STOCKPILE AND REUSE ALL BOULDERS 2' OR LARGER FOR LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER.

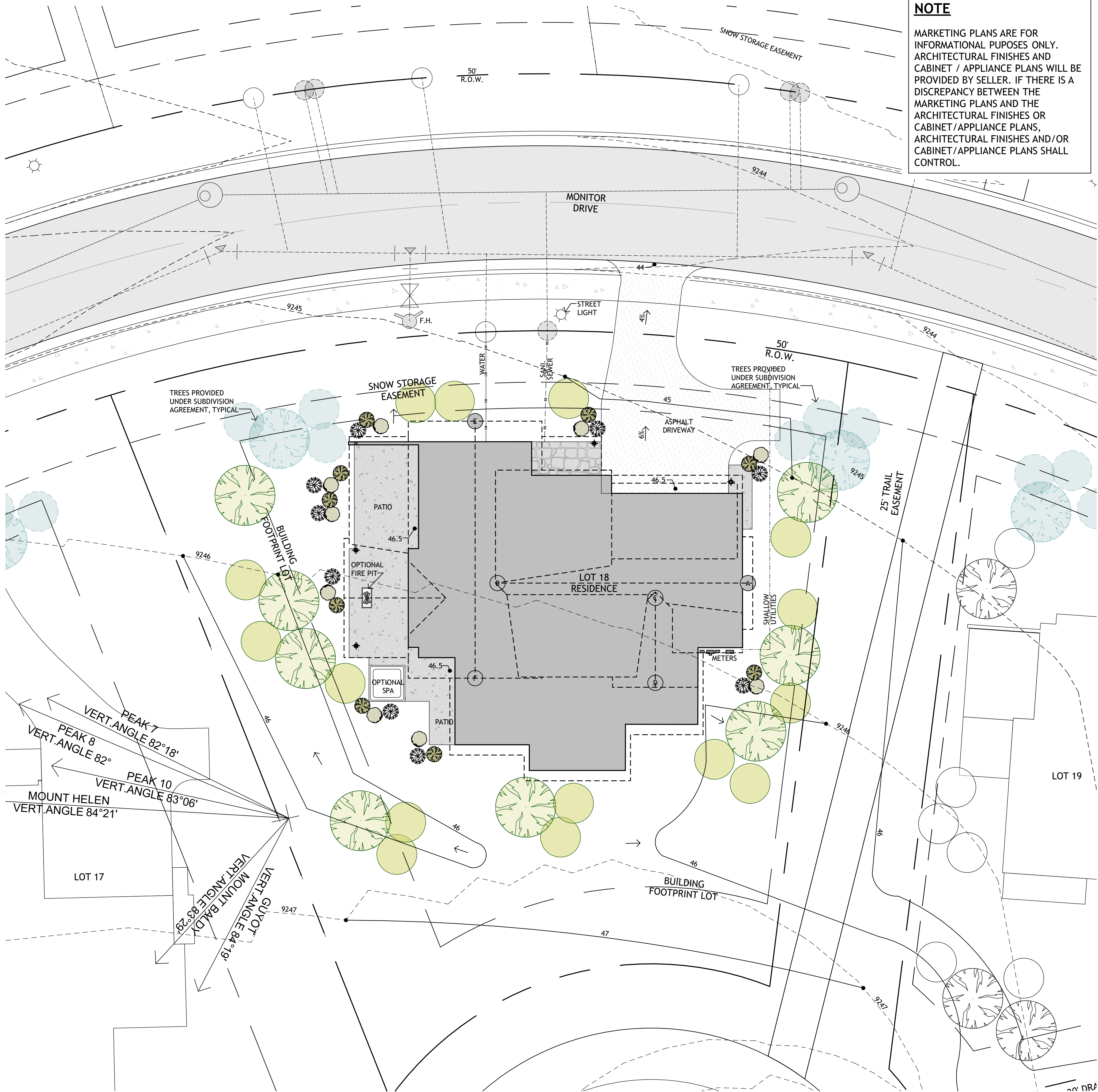
PLANT LIST

IRRIGATION NOTE: ALL NEW PLANTINGS SHALL BE PROVIDED WITH A DRIP IRRIGATION SYSTEM.

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE
PROPOSED TREES / SHRUBS				
	SPRUCE TREE	PICEA PUNGENS OR PICEA ENGELMANNI	4 2	6' TO 8' TALL 8' TO 10' TALL 10' TO 12' TALL
	ASPEN TREE	POPULUS TREMULODES	15	1 1/2" CALIPER WITH 50% MULTI-STEM
	SPRUCE TREE PROVIDED UNDER SUBDIVISION AGREEMENT	PICEA PUNGENS OR PICEA ENGELMANNI	PER SUBDIVISION AGREEMENT	PER SUBDIVISION AGREEMENT
	ASPEN TREE PROVIDED UNDER SUBDIVISION AGREEMENT	POPULUS TREMULODES	PER SUBDIVISION AGREEMENT	PER SUBDIVISION AGREEMENT
	POTENTILLA	POTENTILLA FRUTICOSA	9	5 GALLON
	ALPINE CURRANT	RIBIES ALPINUM	9	5 GALLON
	WOODS ROSE	ROSA WOODII	9	5 GALLON
	RIVER ROCK / RIP-RAP	N/A	AT ALL DRIP LINES	3" TO 4" DIAMETER
	NATIVE GROUND COVER	SUMMIT COUNTY APPROVED MIX	ALL DISTURBED AREAS	5 LB / 1000 SF SEED RATE
EXISTING TREES				
	EXISTING TREE	VARIES	SEE PLAN	SEE PLAN
	EXISTING TREE TO BE REMOVED	VARIES	SEE PLAN	SEE PLAN

NOTE

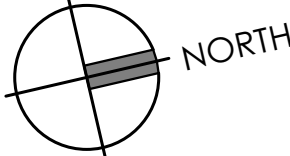
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1

GRADING & LANDSCAPE PLAN

SCALE: 1" = 10'



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HIGHLANDS RIVERFRONT
LOT 18 SFH
205 MONITOR DRIVE
BRECKENRIDGE, CO 80424

DATE	MARKETING	DESCRIPTION
NOV/5/24		

PROJECT NO: 2019-7
DRAWN BY: M.PROVINO
CHK'D BY: M.PROVINO

SHEET TITLE

GRADING &
LANDSCAPE
PLAN

A-101

SHEET 2

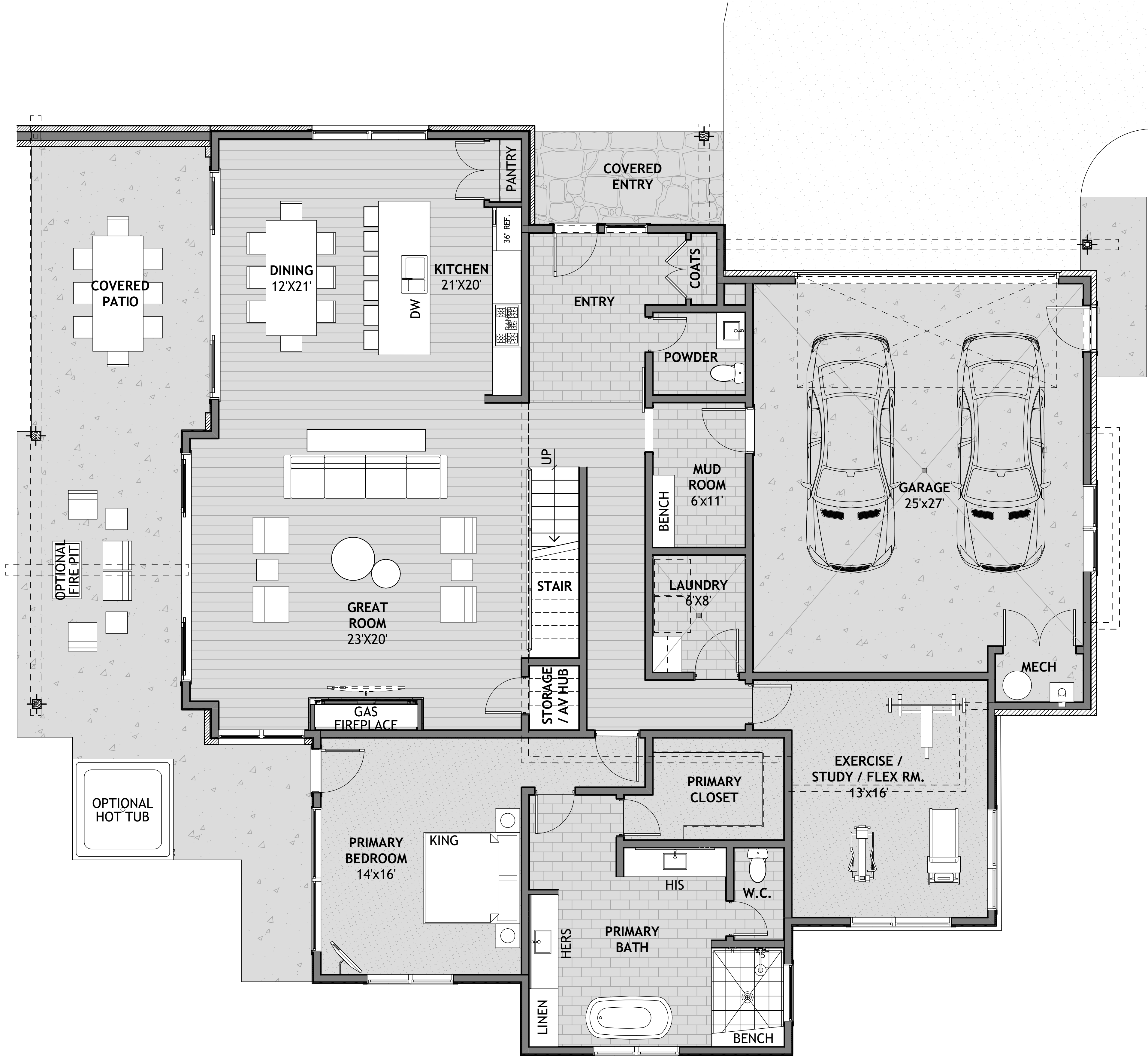
OF 9

PLAN NOTES

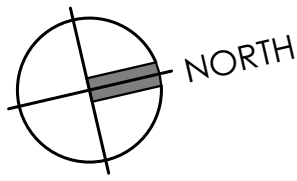
- 1. COORDINATE ALL INTERIOR FINISHES, CABINETS, FIXTURES AND EQUIPMENT WITH THE OWNER.
- 2. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL DAMP LOCATIONS.
- 3. PROVIDE CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS.
- 4. PROVIDE LOW V.O.C. FINISH COATINGS AND FORMALDEHYDE-FREE SUBSTRATES WHERE POSSIBLE.
- 5. PROVIDE BLOCKING IN WALLS FOR ALL SHELVING, CABINETS AND ACCESSORIES.
- 6. ALL NEW WINDOWS SHALL BE LOW-E, DUAL GLAZED INSULATED GLASS UNITS, MAX. U-FACTOR: 0.35
- 7. PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CODE.
- 8. PROVIDE EGRESS WINDOWS IN ALL BEDROOMS AS REQUIRED BY CODE.
- 9. INSULATE ALL GAPS AND SHIM SPACES IN EXTERIOR WALLS.
- 10. INSTALL ALL INTERIOR DOOR R.O.'S 4" FROM PERPENDICULAR WALL ON HINGE SIDE, U.N.O., TYPICAL.

NOTE

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1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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HIGHLANDS RIVERFRONT
LOT 18 SFH
205 MONITOR DRIVE
BRECKENRIDGE, CO 80424

DATE	MARKETING	DESCRIPTION
NOV/5/24		

PROJECT NO: 2019-7
DRAWN BY: M.PROVINO
CHK'D BY: M.PROVINO

SHEET TITLE

MAIN FLOOR
PLAN

A-200

PLAN NOTES

- 1. COORDINATE ALL INTERIOR FINISHES, CABINETS, FIXTURES AND EQUIPMENT WITH THE OWNER.
- 2. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL DAMP LOCATIONS.
- 3. PROVIDE CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS.
- 4. PROVIDE LOW V.O.C. FINISH COATINGS AND FORMALDEHYDE-FREE SUBSTRATES WHERE POSSIBLE.
- 5. PROVIDE BLOCKING IN WALLS FOR ALL SHELVING, CABINETS AND ACCESSORIES.
- 6. ALL NEW WINDOWS SHALL BE LOW-E, DUAL GLAZED INSULATED GLASS UNITS, MAX. U-FACTOR: 0.35
- 7. PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CODE.
- 8. PROVIDE EGRESS WINDOWS IN ALL BEDROOMS AS REQUIRED BY CODE.
- 9. INSULATE ALL GAPS AND SHIM SPACES IN EXTERIOR WALLS.
- 10. INSTALL ALL INTERIOR DOOR R.O.'S 4" FROM PERPENDICULAR WALL ON HINGE SIDE, U.N.O., TYPICAL.

NOTE

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HIGHLANDS RIVERFRONT
LOT 18 SFH
205 MONITOR DRIVE
BRECKENRIDGE, CO 80424

DATE	MARKETING	DESCRIPTION
NOV/5/24		

PROJECT NO: 2019-7
DRAWN BY: M.PROVINO
CHK'D BY: M.PROVINO

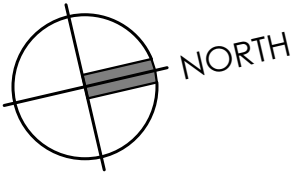
SHEET TITLE

UPPER FLOOR
PLAN

A-201



1 UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



ROOF PLAN NOTES

1. PROVIDE CLASS-A RATED ROOFING, INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. PROVIDE WATERPROOF MEMBRANE UNDERLAYMENT OVER 100% OF ROOF DECK. INSTALL HIGH-TEMP COMPATIBLE MEMBRANE UNDER METAL ROOFING.
3. INSTALL GFCI J-BOXES AT GUTTER / DOWNSPOUT LOCATIONS FOR 220V HEAT TAPE.
4. ALL EXPOSED FLASHING AND DRIP EDGE SHALL BE PRE-FINISHED DARK BRONZE TO MATCH METAL ROOFING.
5. PAINT ALL EXPOSED VENT STACKS, FLUE PIPES, ETC. DARK BRONZE WITH SUITABLE PRIMER TO ADHERE TO THE MATERIAL BEING PAINTED.

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HIGHLANDS RIVERFRONT
LOT 18 SFH
205 MONITOR DRIVE
BRECKENRIDGE, CO 80424

DATE	MARKETING	DESCRIPTION
NOV/5/24		

PROJECT NO: 2019-7
DRAWN BY: M.PROVINO
CHK'D BY: M.PROVINO

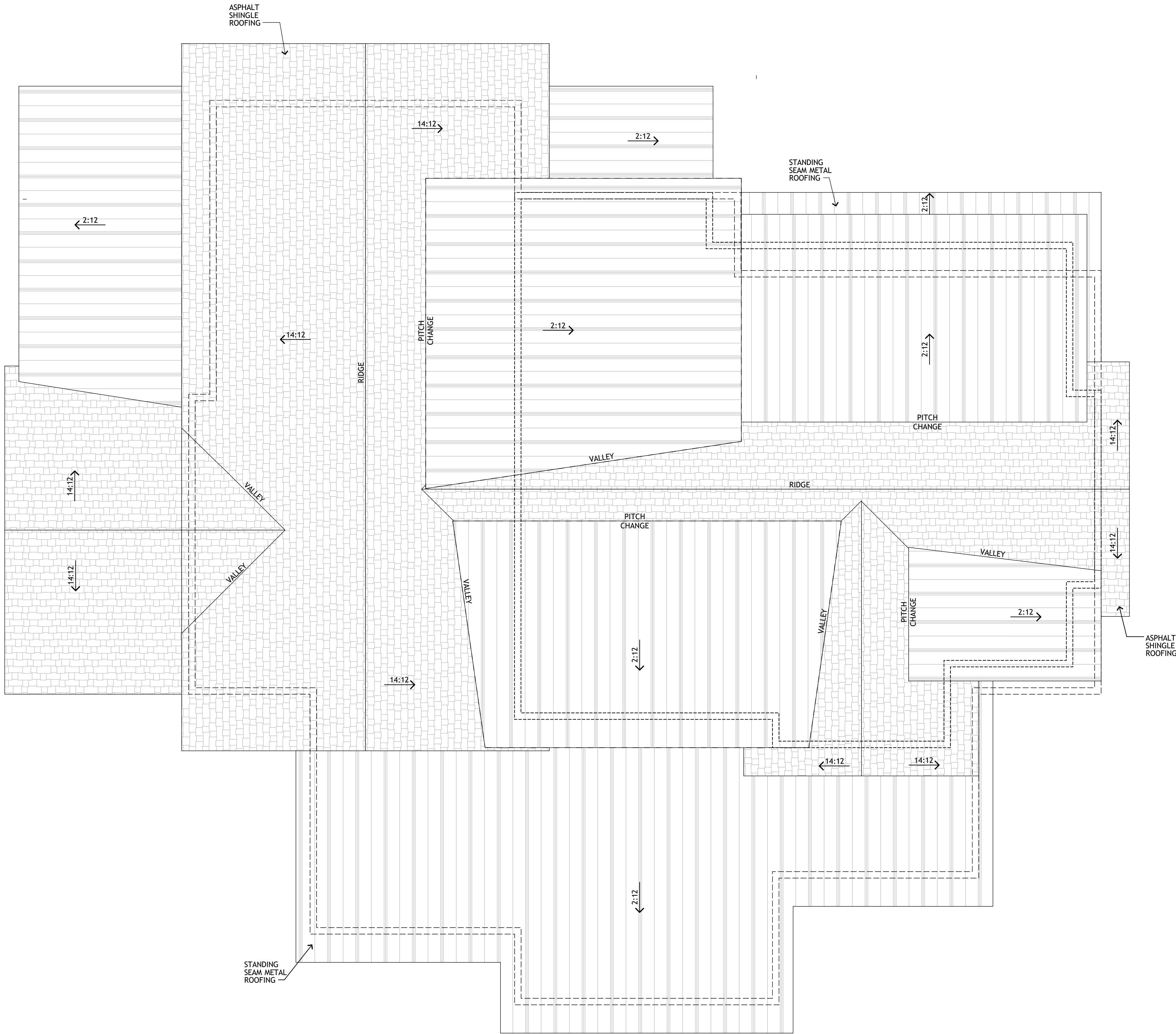
SHEET TITLE

ROOF PLAN

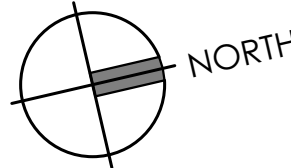
A-202

SHEET 5

OF 9



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



BUILDING ELEVATION NOTES:

1. REFER TO MATERIALS LEGEND FOR FINISH DESIGNATIONS.
2. PROVIDE GLAZING THAT MEETS SUMMIT COUNTY ENERGY CODE REQUIREMENTS.
3. VERIFY ROUGH OPENING DIMENSIONS AND REQUIREMENTS WITH WINDOW & DOOR MANUFACTURERS PRIOR TO FRAMING OPENINGS.
4. PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS.
5. VERIFY JAMB WIDTHS AND WALL THICKNESSES PRIOR TO ORDERING WINDOWS AND DOORS.
6. PROVIDE SAFETY GLAZING IN COMPLIANCE WITH CURRENT BUILDING CODES.
7. INSULATE ALL SHIM SPACES AT EXTERIOR DOORS & WINDOWS.
8. WRAP ALL EXTERIOR OPENINGS WITH BUILDING WRAP PRIOR TO INSTALLING WINDOW OR DOOR.
9. PROVIDE SELF-ADHESIVE FLASHING ALONG ALL NAIL FLANGES PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
10. PROVIDE 26 GA. PRE-FINISHED METAL HEAD FLASHING TO AT ALL EXTERIOR DOORS & WINDOWS.
11. ALL WINDOWS AND DOORS TO HAVE FIELD APPLIED TRIM. DO NOT SUPPLY WITH BRICK MOLD.
12. PROVIDE SHOP DRAWINGS FOR OWNER & ARCHITECT APPROVAL PRIOR TO ORDERING CUSTOM WINDOWS AND DOORS .
13. SEE FLOOR PLAN FOR WINDOW / DOOR OPERATION.

EXTERIOR FINISH LEGEND

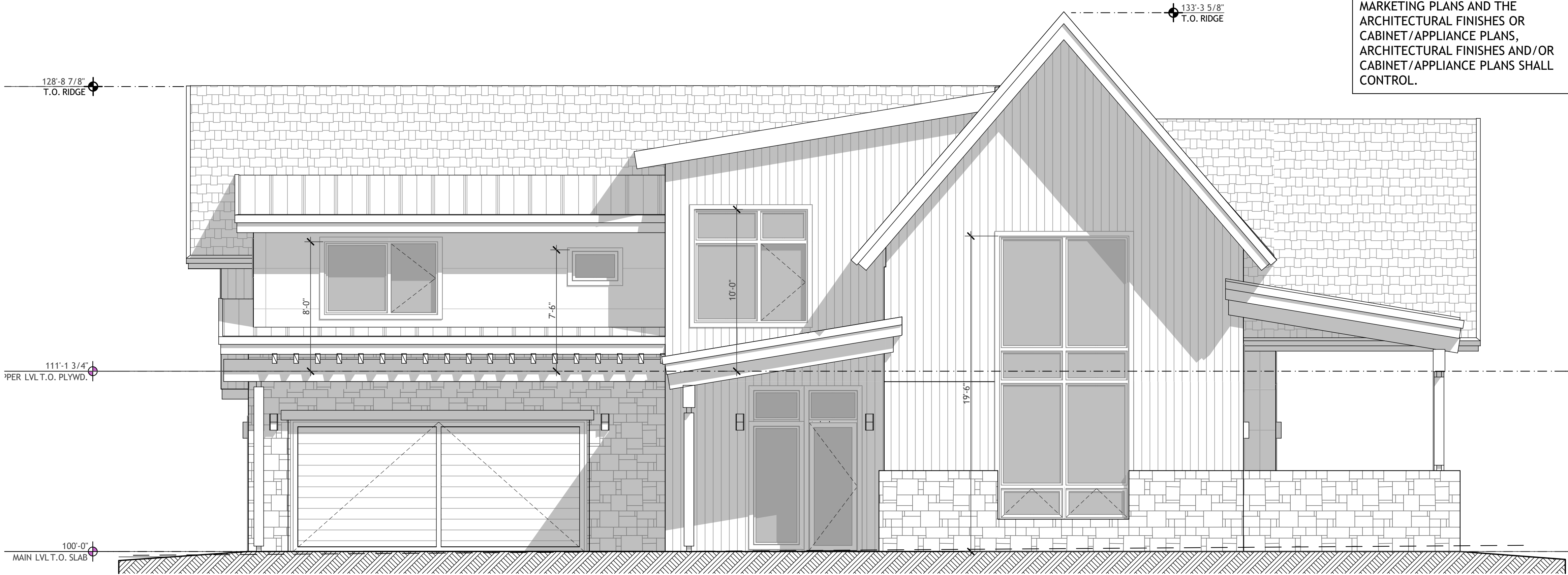
- (A) ASPHALT SHINGLE ROOFING - GAF 30YR "CHARCOAL"
- (B) STANDING SEAM METAL ROOFING - METAL SALES "DARK BRONZE" 50
- (C) CEDAR FASCIA, TRIM & BEAM TAILS - STAINED - "BLACK ALDER" SW3022
- (D) 1X6 VERTICAL WOOD SIDING - STAINED - "BANYON BROWN" SW3522
- (E) 1X8 HORIZONTAL WOOD SIDING - STAINED - "BANYON BROWN" SW3522
- (F) 1X6 T&G WOOD SOFFIT - STAINED - "BANYON BROWN" SW3522
- (G) 5" THICK STONE VENEER W/ 3" THICK SANDSTONE CAP
- (H) TIMBER POSTS & RAFTERS - STAINED - "BLACK ALDER" SW3022
- (I) EXPOSED STEEL BEAMS - NATURAL COLOR W/PERMALAC SEALER (NON-REFLECTIVE)
- (J) CLAD WOOD WINDOWS & DOORS - SIERRA PACIFIC "BRONZE 024" CLADDING
- (K) COLD ROLLED STEEL PANELS - NATURAL COLOR W/ PERMALAC SEALER (NON-REFLECTIVE)

EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT AND MEET TOWN CODE.

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2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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HIGHLANDS RIVERFRONT
LOT 18 SFH
205 MONITOR DRIVE
BRECKENRIDGE, CO 80424

DATE	DESCRIPTION
NOV/5/24	MARKETING

PROJECT NO: 2019-7
DRAWN BY: M.PROVINO
CHK'D BY: M.PROVINO

SHEET TITLE

ELEVATIONS

A-300

BUILDING ELEVATION NOTES:

1. REFER TO MATERIALS LEGEND FOR FINISH DESIGNATIONS.
2. PROVIDE GLAZING THAT MEETS SUMMIT COUNTY ENERGY CODE REQUIREMENTS.
3. VERIFY ROUGH OPENING DIMENSIONS AND REQUIREMENTS WITH WINDOW & DOOR MANUFACTURERS PRIOR TO FRAMING OPENINGS.
4. PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS.
5. VERIFY JAMB WIDTHS AND WALL THICKNESSES PRIOR TO ORDERING WINDOWS AND DOORS.
6. PROVIDE SAFETY GLAZING IN COMPLIANCE WITH CURRENT BUILDING CODES.
7. INSULATE ALL SHIM SPACES AT EXTERIOR DOORS & WINDOWS.
8. WRAP ALL EXTERIOR OPENINGS WITH BUILDING WRAP PRIOR TO INSTALLING WINDOW OR DOOR.
9. PROVIDE SELF-ADHESIVE FLASHING ALONG ALL NAIL FLANGES PER MANUFACTURERS INSTALLATION REQUIREMENTS.
10. PROVIDE 26 GA. PRE-FINISHED METAL HEAD FLASHING TO AT ALL EXTERIOR DOORS & WINDOWS.
11. ALL WINDOWS AND DOORS TO HAVE FIELD APPLIED TRIM. DO NOT SUPPLY WITH BRICK MOLD.
12. PROVIDE SHOP DRAWINGS FOR OWNER & ARCHITECT APPROVAL PRIOR TO ORDERING CUSTOM WINDOWS AND DOORS .
13. SEE FLOOR PLAN FOR WINDOW / DOOR OPERATION.

EXTERIOR FINISH LEGEND

- (A) ASPHALT SHINGLE ROOFING - GAF 30YR "CHARCOAL"
- (B) STANDING SEAM METAL ROOFING - METAL SALES "DARK BRONZE" 50
- (C) CEDAR FASCIA, TRIM & BEAM TAILS - STAINED - "BLACK ALDER" SW3022
- (D) 1X6 VERTICAL WOOD SIDING - STAINED - "BANYON BROWN" SW3522
- (E) 1X8 HORIZONTAL WOOD SIDING - STAINED - "BANYON BROWN" SW3522
- (F) 1X6 T&G WOOD SOFFIT - STAINED - "BANYON BROWN" SW3522
- (G) 5" THICK STONE VENEER W/ 3" THICK SANDSTONE CAP
- (H) TIMBER POSTS & RAFTERS - STAINED - "BLACK ALDER" SW3022
- (I) EXPOSED STEEL ACCENTS - NATURAL COLOR W/PERMALAC SEALER (NON-REFLECTIVE)
- (J) CLAD WOOD WINDOWS & DOORS - SIERRA PACIFIC "BRONZE 024" CLADDING
- (K) COLD ROLLED STEEL PANELS - NATURAL COLOR W/ PERMALAC SEALER (NON-REFLECTIVE)

EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT AND MEET TOWN CODE.

NOTE

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HIGHLANDS RIVERFRONT
LOT 18 SFH
205 MONITOR DRIVE
BRECKENRIDGE, CO 80424



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

DATE	DESCRIPTION
NOV/5/24	MARKETING

PROJECT NO: 2019-7

DRAWN BY: M.PROVINO

CHK'D BY: M.PROVINO

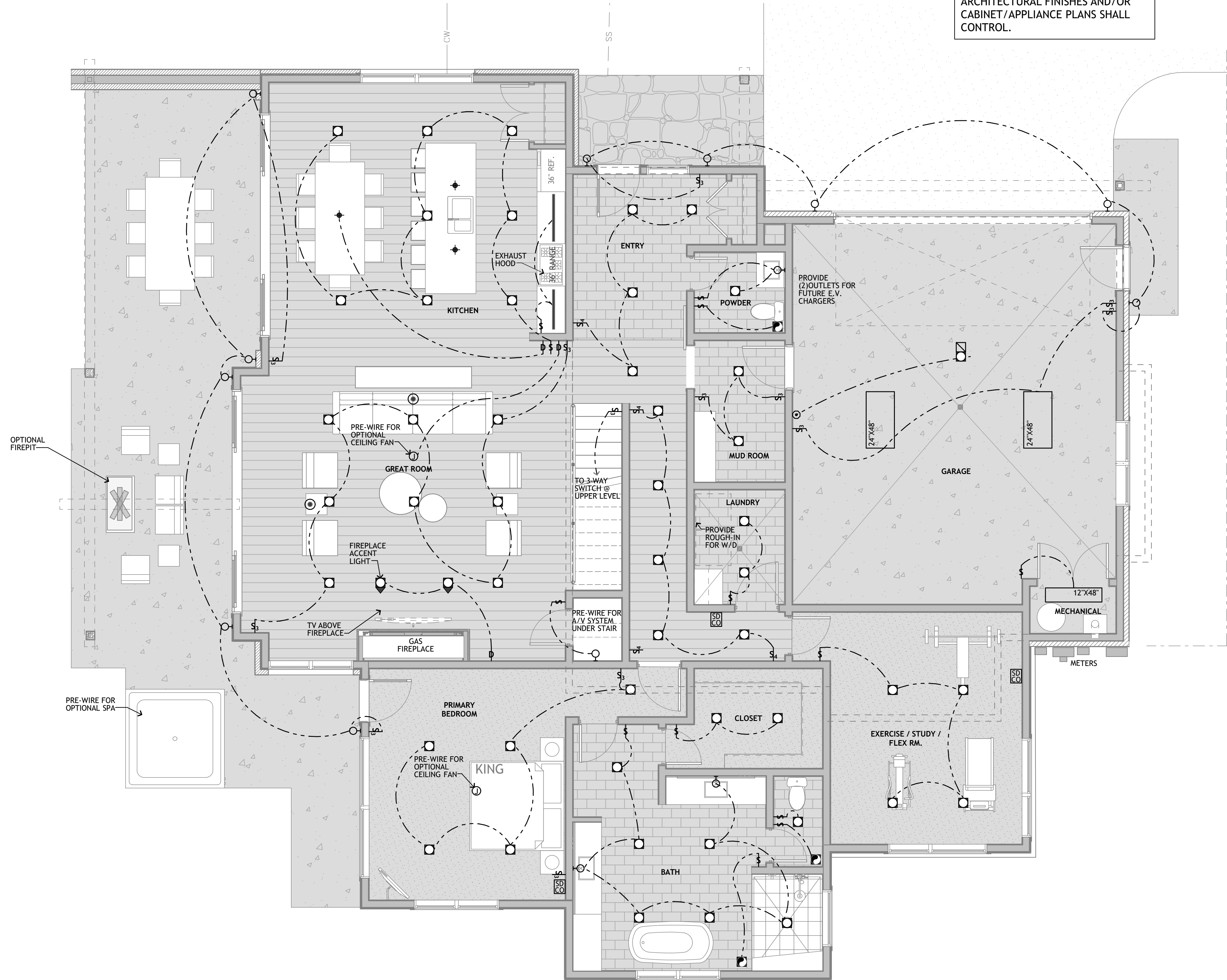
SHEET TITLE

ELEVATIONS

A-301

SHEET 7

OF 9



1 MAIN LEVEL M/E PLAN
SCALE: 1/4" = 1'-0"

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HEATING ZONES:

ZONE 1: XX
ZONE 2: XX
ZONE 3: XX

ELEC. RECEPTACLE NOTE

1. ELECTRICAL RECEPTACLES ARE NOT SHOWN ON THE PLAN. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE RECEPTACLES IN ACCORDANCE WITH THE 2018 IRC.

MECH'L. / ELEC'L LEGEND

SYMBOL	DESCRIPTION
ALL SYMBOLS NOT USED	
	CEILING FAN
	WALL SCONCE LUMINAIRE
	CEILING SURFACE MTD. LUMINAIRE
	CEILING PENDANT LUMINAIRE
	GARAGE DOOR OPENER W/ LIGHT
	RECESSED CEILING LUMINAIRE
	UNDER CABINET HALOGEN LUMINAIRE
	EXHAUST FAN
	THERMOSTAT WITH HEATING ZONE I.D.
	DIMMER SWITCH
	COMBINATION SMOKE / C.O. DETECTOR
	SURFACE MTD. LED LUMINAIRE
	RECESSED TELEPHONE OUTLET BOX
	DUPLEX OUTLET
	GROUND FAULT CIRCUIT INTERCEPTOR OUTLET
	DUPLEX OUTLET, HALF SWITCHED
	RECESSED FLOOR DUPLEX OUTLET
	SINGLE POLE SWITCH
	MULTI-WAY SWITCH
	WIRING
	BUTTON OPERATOR
	JUNCTION BOX
	GAS SHUT-OFF VALVE
	DISPOSAL
	FROST-FREE HOSE BIB

MECH. / ELEC. NOTES

- ALL MECHANICAL & ELECTRICAL WORK SHALL COMPLY WITH CURRENT CODES AS ADOPTED BY THE SUMMIT COUNTY BUILDING DEPT.
- VERIFY PHONE, TV, AUDIO AND DATA REQUIREMENTS WITH OWNER PRIOR TO COMMENCING WORK.
- VERIFY LUMINAIRE SELECTIONS WITH OWNER PRIOR TO COMMENCING WORK.
- ALL LUMINAIRES SHALL BE CENTERED IN SPACE PROVIDED U.N.O.
- ALL RECESSED CAN LUMINAIRES SHALL BE "IC" TYPE.
- ALL EXTERIOR LUMINAIRES TO BE "DARK SKY COMPLIANT"
- MECHANICAL WORK SHALL BE A DESIGN-BUILD SCOPE OF WORK. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO SIZE EQUIPMENT, SIZE SUPPLY / RETURN DUCTS AND SPECIFY REQUIRED CONTROLS.

P.V. READY NOTES:

- PROVIDE A 1" METAL CONDUIT W/ CAPPED ENDS FROM INVERTER LOCATION TO FUTURE PV ARRAY LOCATION ON ROOF.
- PROVIDE A 1" METAL CONDUIT W/ CAPPED ENDS FROM INVERTER LOCATION TO ELEC. SERVICE PANEL.
- PROVIDE A LABELED SLOT FOR A 70A DUAL POLE CIRCUITE BREAKER IN THE ELEC. SERVICE PANEL FOR USE BY PV SYSTEM.
- PROVIDE HOME BUYER WITH PV SYSTEM COMPONENT ALTERNATE INFORMATION:
 - LIST OF RENEWABLE-READY FEATURES
 - AVAILABLE FREE ROOF AREA WITHIN 45' OF TRUE SOUTH
 - LOCATION OF FUTURE PV SYSTEM COMPONENTS
 - LOCATION OF BREAKER FOR FUTURE PV ELEC. SERVICE
 - COPY OF PV-READY CHECKLIST
 - COPY OF RERH SOALR PV SPECIFICATION GUIDE



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HIGHLANDS RIVERFRONT
LOT 18 SFH
205 MONITOR DRIVE
BRECKENRIDGE, CO 80424

DATE	DESCRIPTION
NOV/5/24	MARKETING

PROJECT NO: 2019-7
DRAWN BY: M.PROVINO
CHK'D BY: M.PROVINO

SHEET TITLE
MAIN LEVEL
M/E PLAN

M/E-100



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	WIRING
	BUTTON OPERATOR
	JUNCTION BOX
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	FROST-FREE HOSE BIB

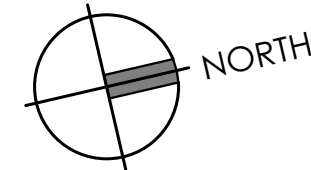
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1 UPPER LEVEL M/E PLAN
SCALE: 1/4" = 1'-0"



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DATE	DESCRIPTION
NOV/5/24	MARKETING

PROJECT NO: 2019-7
DRAWN BY: M.PROVINO
CHK'D BY: M.PROVINO

SHEET TITLE

UPPER LEVEL
M/E PLAN

M/E-200